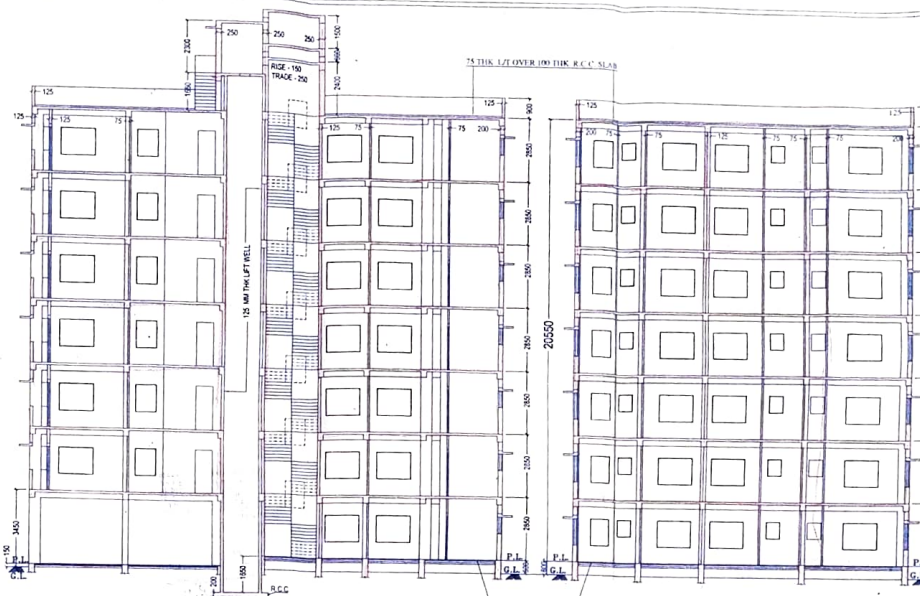
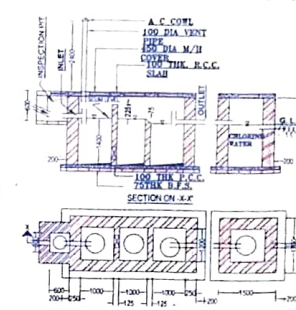


FRONT ELEVATION

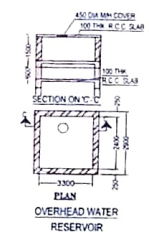


SECTION-A-A'

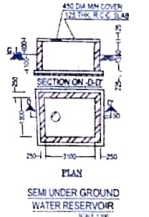
SECTION-B-B'



DTLS OF SEPTIC TANK & CL. TANK PLAN SCALE 1:50

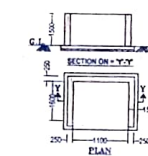


OVERHEAD WATER RESERVOIR SCALE 1:50

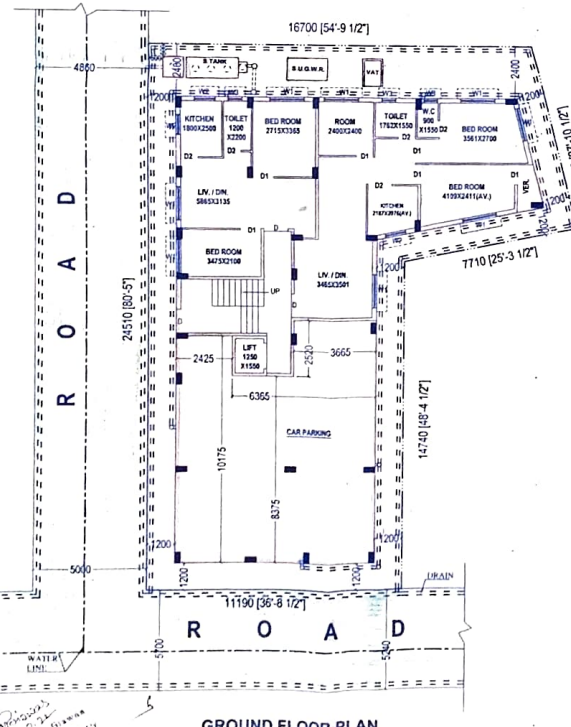


SEM UNDER GROUND WATER RESERVOIR SCALE 1:50

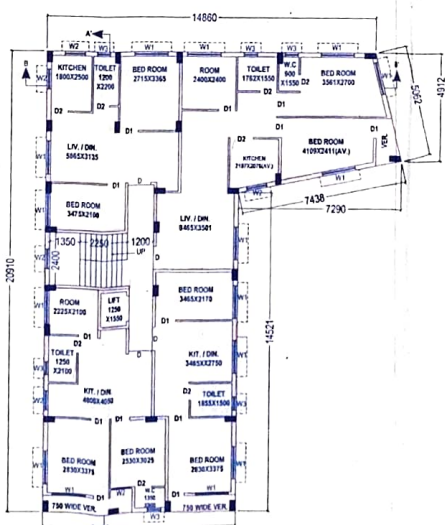
SCHEDULE DOOR & WINDOW	
D.O. OR	WINDOW
D1 1050 x 1950	W1 1500 x 1200
D1 900 x 1450	W2 900 x 1200
D2 750 x 1950	W3 600 x 750



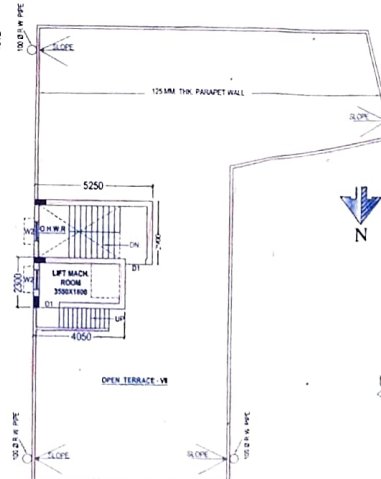
PLAN VAT



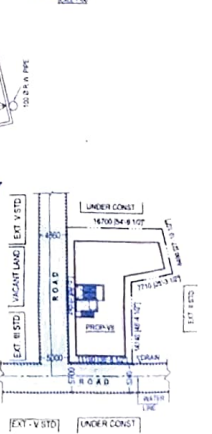
GROUND FLOOR PLAN



1ST. TO 6TH. FLOOR PLAN



ROOF PLAN



SITE PLAN (SCALE 1:100)

PROPOSED SIX STORED RESIDENTIAL BUILDING PLAN OF CHOLAYAM REALTORS PRIVATE LIMITED, IN RESPECT OF HOLDING NO. 10, S.V. ROAD 17TH E. LANE, BANGALORE - 560021, KARNATAKA, INDIA. M/11, 11TH E. LANE P. S. LAKE TOWN, DIST. BANGALORE, UNDER SOUTH BANGALORE MUNICIPALITY.

NATURE OF LAND - BASTU
APPROVED SITE PLAN NO. - DATED -

AREA STATEMENT

- TOTAL AREA OF LAND (AS PER PHYSICAL) = 66 K. 01 CH. 03 CH
- TOTAL AREA OF LAND (AS PER PHYSICAL) = 333.89 Sqm
- PERMISSIBLE COVER AREA (52.31%) = 174.65 Sqm
- PROPOSED GR. FL. COV. AREA = 221.99 Sqm
- PROPOSED 1ST. FL. COV. AREA = 221.99 Sqm
- PROPOSED 2ND. FL. COV. AREA = 221.99 Sqm
- PROPOSED 3RD. FL. COV. AREA = 221.99 Sqm
- PROPOSED 4TH. FL. COV. AREA = 221.99 Sqm
- PROPOSED 5TH. FL. COV. AREA = 221.99 Sqm
- CAR PARKING AREA = 87.22 Sqm
- LEFT OPEN AREA = 111.90 Sqm
- TOTAL FL. COV. AREA = 1153.95 Sqm
- VOLUME OF TOTAL CONST. = 4514.98 CuM

CERTIFICATE OF OWNER

I CERTIFY THAT I SHALL NOT ON A LATER DATE MAKE ANY ADDITION OR ALTERATION TO THE PLAN AS TO CONFORM TO THE RULES AND REGULATIONS TO BE USED FOR REPAIRS PLATS AND STOREY PLANS. I CERTIFY THAT I HAVE OBTAINED THE NECESSARY PERMISSION FROM THE SOUTH BANGALORE MUNICIPALITY AND ALSO UNDERSTAND TO ABIDE BY THESE RULES DURING THE AFTER CONSTRUCTION OF THE BUILDING.

I CERTIFY THAT I ALSO UNDERSTAND TO REPORT TO COMMISSIONER BEFORE THE END OF EACH YEAR THE PROGRESS OF THE WORKS AND THE VALUE OF AN IMPROVEMENT AS PER THE RULES AND REGULATIONS TO BE USED FOR REPAIRS PLATS AND STOREY PLANS.

PROPERTY TO APPROVE UPON SOUTH BANGALORE MUNICIPALITY WILL NOT BE LIABLE IF ANY TYPE OF DISASTERS OCCURS IN FUTURE.

SRI. OF THE OWNER

CERTIFICATE OF ENGINEER

I CERTIFY THAT THE FOUNDATION & THE SUPERSTRUCTURE OF THE BUILDING HAVE BEEN DESIGNED BY ME/US AS TO BE SAFE IN ALL RESPECTS INCLUDING THE CONSIDERATION OF BEARING CAPACITY AND SETTLEMENT OF SOIL ETC. AS PER THE RULES AND REGULATIONS TO BE USED FOR REPAIRS PLATS AND STOREY PLANS.

I CERTIFY THAT THE PLAN HAS BEEN DESIGNED AS PER THE RULES AND REGULATIONS TO BE USED FOR REPAIRS PLATS AND STOREY PLANS.

I AS A STRUCTURAL DESIGNER HEREBY CERTIFY THAT I AM A REGISTERED MEMBER OF THE SOUTH BANGALORE MUNICIPALITY AND ALSO UNDERSTAND TO ABIDE BY THESE RULES DURING THE AFTER CONSTRUCTION OF THE BUILDING.

FOR THE ENGINEER

M. MITA SAHA
M.E. (S) (Structural)
Licence No. 2019/197
KMC No. 652/11

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KMC No. 652/11

M. MITA SAHA
M.E. (S) (Structural)
Licence No. 2019/197
KMC No. 652/11

SRI. OF THE ARCHITECT

RUPAK KUMAR BANERJEE
B.C.E.M.E. (S) (Structural)
Licence No. 2019/197
KMC No. 652/11

SRI. OF THE GEO TECHNICAL ENGINEER

KALSHR ABHINAV DASGUPTA
B.A.R.C.H.
Licence No. 2019/197
KMC No. 652/11

PAL ASSOCIATES
ARCHITECTS ENGINEERS TOWN PLANNERS
ESTIMATORS & SOIL SEARCHERS
11, JERSON ROAD, B. D. BAGAN, KOL. 24
MOB. - 986272470, 9434829333

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1. This sanction is valid for a period of three years from the date of sanction and may be renewed for a future period of two years or for a period as may be provided in the West Bengal Municipal Act 1903.
2. Sanction is granted on the basis of statements, representations, disclosures and declarations made and information supplied by the applicant. In case it is discovered at a later stage that false or misleading statements were made and that any disclosure/declaration was not made and/or was not full and complete the sanction may be revoked without prejudice to other action that may be taken by the Municipality under C.M.I. Act, 1903.
3. Before commencing construction the site must confirm to the sanctioned site plan. The applicant must implement all proposals and representations made in the Plan in full.
4. No deviations may be made from the sanctioned plan and it made the same is found to be summarily demolished and the cost of such demolition recovered from the applicant/owner.
5. The onus of ensuring the correctness of plan lies on the applicant/owner.

Sanctioned provisionally.
No objection certificate is to be obtained from the Aircraft Authority of India before commencing construction.

No rainwater pipes/spout should be so fixed as to discharge rainwater on road/footpath/outside the premises.

The plan for building being constructed in an area served by sewerage network will have to be prepared separately according to National Building Code and sanction for the same obtained before commencing construction of crane.

Within one month after the completion of the erection of a building or the execution of any work, the owner of this building must submit a notice of completion to the Municipality in compliance with provisions contained in Rule 32 of the West Bengal Building Rules, 2007. Failure to do so will attract severe penal measures. No person may occupy or permit to be occupied a building erected or re-erected or altered under the West Bengal Municipal Act, 1903 without obtaining an Occupancy Certificate issued by the Municipality.

PHASE-I

SANCTIONED Provisionally up to ground floor roof casting. Final Sanction will be accorded in Phase-II after Completion of ground floor RCC Structure as per Provisionally sanctioned plan in Phase-I

N. C. 19/1/23

Chairperson

SOUTH DUM DUM MUNICIPALITY

DATE.....